

Request for Proposals Pedestrian Improvements Route 88 (Foreside Road), Lunt Road and Depot Road April 7, 2022

The Town of Falmouth Public Works Department seeks qualified contractors to satisfactorily complete pedestrian improvements on Route 88, Lunt Road and Depot Road. The project includes the installation of sidewalks, crosswalks, Rectangular Rapid Flashing Beacons, and ADA compliant ramps.

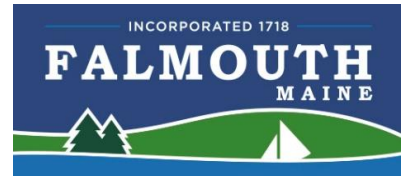
Sealed bids shall be submitted to the Town using the enclosed bid form. Bids shall be submitted by **Thursday, April 28th, 2022 at 11:00 AM at the Falmouth Public Works building located at 101 Woods Road, Falmouth, ME 04105.**

Proposals shall be submitted in sealed packages labeled “**RFP – Pedestrian Improvements, Route 88 (Foreside Road) and Lunt Road**, Attn: Justin Early.”

There will not be a pre-bid meeting for this project. Prospective bidders are encouraged to visit the site and may request a site meeting with the Town Engineer to review the project. All pre-bid correspondence shall be submitted to Justin Early, Town Engineer, at jearyl@falmouthme.org or at 207-781-3919. Questions regarding this bid/proposal shall be accepted until 5:00 PM, Monday, April 25th, 2022.

General Contract Specifications

1. All excavation, restoration, construction, materials and maintenance of traffic control shall adhere to Maine Department of Transportation and Town of Falmouth specifications. If there are conflicting requirements, the stricter shall apply.
2. The Contractor shall be responsible for traffic control and signage during the performance of work and shall adhere to the Manual of Uniform Traffic Control Devices and/or Town ordinances regulating traffic control. If there are conflicting requirements, the stricter shall apply. Contractor shall maintain alternating 1-way traffic, at a minimum, unless otherwise approved in advance. This work shall be incidental to the project cost.
3. Contractor shall provide the Town of Falmouth a construction schedule containing the construction sequence and the estimated time required to complete the project.
4. The work must be completed by September 30th, 2022.
5. Contractor shall be responsible for contacting Dig Safe and non-Dig Safe utility operators (which includes both the Falmouth Public Works and Wastewater Departments) as required by law.
6. All improvements included in the project shall have a one-year warranty. The contractor will not be required to hold any retainage funds.



7. Awarded bidder shall enter into agreement (attached) and provide the required insurance certificate per the agreement.
8. Anything not otherwise specified, that is necessary to complete the project as specified, shall be considered incidental.
9. The Town of Falmouth reserves the right to accept or reject any and all bids.

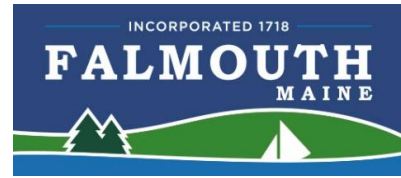
General Description of Work

Route 88 (Foreside Road) - Route 88/Johnson Road/Town Landing Road intersection

- The work at this intersection includes installing three ADA compliant ramps and two crosswalks per the attached plans. The improvements include, but are not limited to, installing aggregate base gravel, granite curb (Type 1), bituminous curb (Type 3), HMA pavement, detectable warning fields, road painting, two sets of Rectangular Rapid Flashing Beacons, and drainage modifications (see note below), per the project plans that are included with this RFP.
- *Drainage Modifications – This bid item includes the following work:
 - Converting existing catch basin to manhole by;
 - Offsetting (rotating) existing cone so access opening is not in conflict with detectable warning fields
 - Furnish and install round solid frame and cover to replace existing square frame and grate.
 - Installing new F-Type catch basin
 - Installing new 8" HDPE storm drain pipe from new F-Type catch basin to converted manhole structure.
- Pavement removal shall be considered incidental to the common excavation bid item.
- Perform all other incidental as described in the specifications.

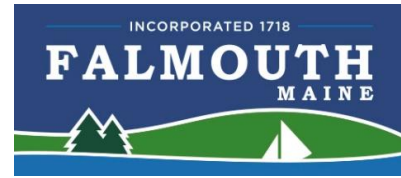
Route 88 (Foreside Road) - Route 88/Depot Road intersection

- The work at this intersection includes installing approximately 230 linear feet of 6' wide HMA sidewalk, four ADA compliant ramps and two crosswalks per the attached plans. The improvements include, but are not limited to, installing aggregate base gravel, granite curb (Type 1), bituminous curb (Type 3), HMA pavement, detectable warning fields, road painting, and pedestrian signs, per the project plans that are included with this RFP.
- Pavement removal shall be considered incidental to the common excavation bid item.
- Perform all other incidental as described in the specifications.



Lunt and Depot Road Crosswalks

- This lump sum work includes the installation of two ADA compliant crosswalks as shown on the attached map.
- The crosswalk on Lunt Road includes the following work:
 - Furnishing and installing one set of Rectangular Rapid Flashing Beacons
 - Removing existing concrete curb, bituminous curb and HMA pavement as necessary
 - Installing two ADA compliant ramps with detectable warning fields, new HMA pavement, concrete tip downs, HMA tip downs and crosswalk striping.
 - The exact location and layout of the crosswalk will be determined at the time of construction.
- The crosswalk on Depot Road includes the following work:
 - Removing existing concrete curb, bituminous curb and HMA pavement as necessary
 - Installing two ADA compliant ramps with detectable warning fields, new HMA pavement, concrete tip downs, HMA tip downs and crosswalk striping.
 - The exact location and layout of the crosswalk will be determined at the time of construction.
- Perform all other incidental as described in the specifications.



Bid Form

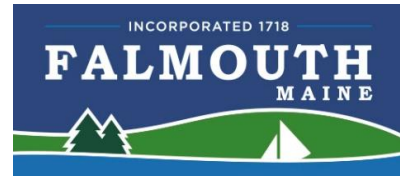
Bid Schedule A (Route 88 Improvements)

Item #	Item (MEDOT specification where applicable)	Estimated Quantity	Unit	Unit Price (\$)	Total Price (\$)
1	Common Excavation (203.20)	85	CY		
2	Aggregate Subbase, Type D (304.10)	130	CY		
3	Vertical Curb, Type 1 (609.11)	200	LF		
4	Vertical Curb, Type 1 - Circular (609.12)	70	LF		
5	Terminal Curb, Type 1 – 8 foot (609.238)	1	EA		
6	Terminal Curb, Type 1 – 8 foot, Circular (609.2381)	10	EA		
7	Curb Type 3 (609.31)	16	LF		
8	F&I 9.5 HMA Surface Mix (403.209)	40	Tons		
9	Detectable Warning Fields (608.26)	150	SF		
10	Drainage Modifications*	1	LS		
11	Rectangular Rapid Flashing Beacon (643.62)	2	EA		
12	MUTCD Signs (645.292)	33	SF		
13	Pavement Markings	1	LS		
14	Relocate Sign	1	EA		
15	Remove Guardrail	1	LS		
16	Loam and Seed	40	SY		
17	Mobilization (659.10)	1	LS		

*See bid item specifications in General Description of Work.

Bid Schedule A Total Bid Price (numerals): _____

Bid Schedule A Total Bid Price (written): _____



Bid Schedule B (Lunt Road and Depot Road Crosswalk Improvements)

Item #	Item (MEDOT specification where applicable)	Estimated Quantity	Unit	Total Price (\$)
1	Lunt Road Crosswalk	1	LS	
2	Depot Road Crosswalk	1	LS	

Bid Schedule B Total Bid Price (numerals): _____

Bid Schedule B Total Bid Price (written): _____

Total Bid Price (Bid Schedule A + B) (numerals): _____

Total Bid Price (Bid Schedule A + B) (written): _____

The Bid will be awarded based on the sum of Bid Schedules A and B.

Bid Submittal: Sealed bids shall be labeled “**RFP – Pedestrian Improvements Route 88 (Foreside Road), Lunt Road and Depot Road**”, Attn: Justin Early and addressed to Town of Falmouth, Public Works Department, 101 Woods Road, Falmouth, ME 04105.

Thursday, April 28th, 2022 at 11:00 AM at the Falmouth Public Works building located at 101 Woods Road, Falmouth, ME 04105.

There will not be a pre-bid meeting for this project.

Bid results will be distributed electronically shortly following the bid submittal date.

A bid bond is not required for this project.

All pre-bid correspondence shall be submitted to Justin Early, Town Engineer, at jeary@falmouthme.org or at 207-781-3919.

Questions regarding this bid/proposal shall be accepted until 5:00 PM, Monday, April 25th, 2022.

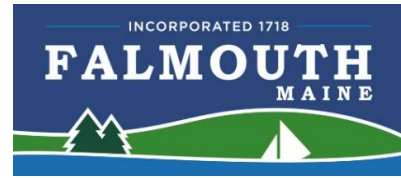
I have read and understand the content of this Request for Proposal (RFP):

Contractor: _____

Signed: _____ Date: _____

Title: _____

Email: _____ Phone: _____



AGREEMENT

I. PARTIES

This contract (hereinafter referred to as "Agreement") is made and entered into on this _____ day of _____, 2022, by and between the Inhabitants of the Town of Falmouth with a mailing address of 271 Falmouth Road, Falmouth, Maine 04105 (hereinafter referred to as "Town"); and _____, with a mailing address of _____ (hereinafter referred to as "Contractor"). In consideration of the mutual promises contained herein, Contractor agrees to perform the following services for the Town.

II. SCOPE OF WORK

In consideration of the compensation set forth herein, the Contractor shall perform the services as outlined in a request for proposal dated _____ and attached hereto as Exhibit A and the response attached hereto as Exhibit B.

III. COMMENCEMENT AND COMPLETION

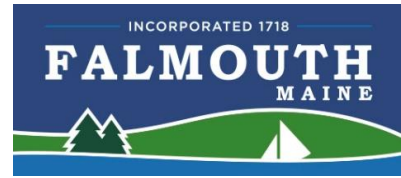
The Contractor will commence work on or before _____, 2022 and will complete work on or before September 30th, 2022.

IV. PAYMENT TERMS

The Contractor shall submit an invoice on or about the first of each month reflecting services performed at the Contractor's normal professional billing rates, attached hereto as Exhibit C. The Contractor understands that the payment for completion of the services outlined in Section II shall not exceed _____ Dollars (\$____), and the Contractor agrees to perform the services on that basis. Invoices shall list separately all out of pocket expenses being billed.

V. TERMINATION

Either party may terminate this Agreement for cause after giving the other party written notice and a reasonable opportunity to cure. The Town may terminate without cause by giving the Contractor fourteen (14) days notice, and compensating the Contractor equitably to the termination date.



VI. DISPUTE RESOLUTION

Any controversy or claim arising out of or related to this Agreement, which cannot be resolved between the parties shall be submitted to the Maine Superior Court (Cumberland County). This agreement shall be governed by Maine law.

VII. QUALIFICATIONS

The Contractor represents it holds, and will continue to hold during the term hereof any and all qualifications, licenses and certifications required to perform its services in Maine. The contractor shall perform all services in accordance with professional standards.

VIII. SUBCONTRACTORS

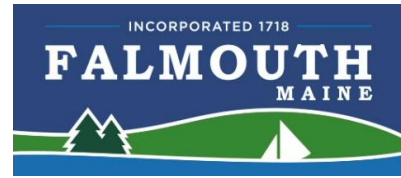
The Contractor shall be fully responsible to the Town for the acts and omissions of any subcontractors, and of persons either directly or indirectly employed by it, and shall hold subcontractors to the same terms and conditions as Contractor is held under this Agreement. No subcontractors shall be retained on this Agreement without the specific prior written approval of the Town.

IX. INSURANCE

The Contractor shall purchase and maintain Workers' Compensation Insurance, General Public Liability and Property Damage Insurance including vehicle coverage and professional liability insurance, all with limits and terms satisfactory to the Town. The Town shall be named as an additional insured on the liability policy.

X. INDEMNIFICATION

The Contractor will indemnify and hold harmless the Town, its officers, agents and employees from and against all claims, damages, losses and expenses including attorney's fees arising out of or resulting from the performance of the Agreement by the Contractor, its officials, employees, agents and subcontractors.



XI. ENTIRE AGREEMENT

This Agreement and its attachments represent and contain the entire agreement between the parties. Prior discussions or verbal representations by the parties that are not contained in this Agreement and its attachments are not a part of this Agreement. Where there is any conflict between the provisions of this Agreement and the provisions of any attachment, the provisions of this Agreement shall control.

Date: _____

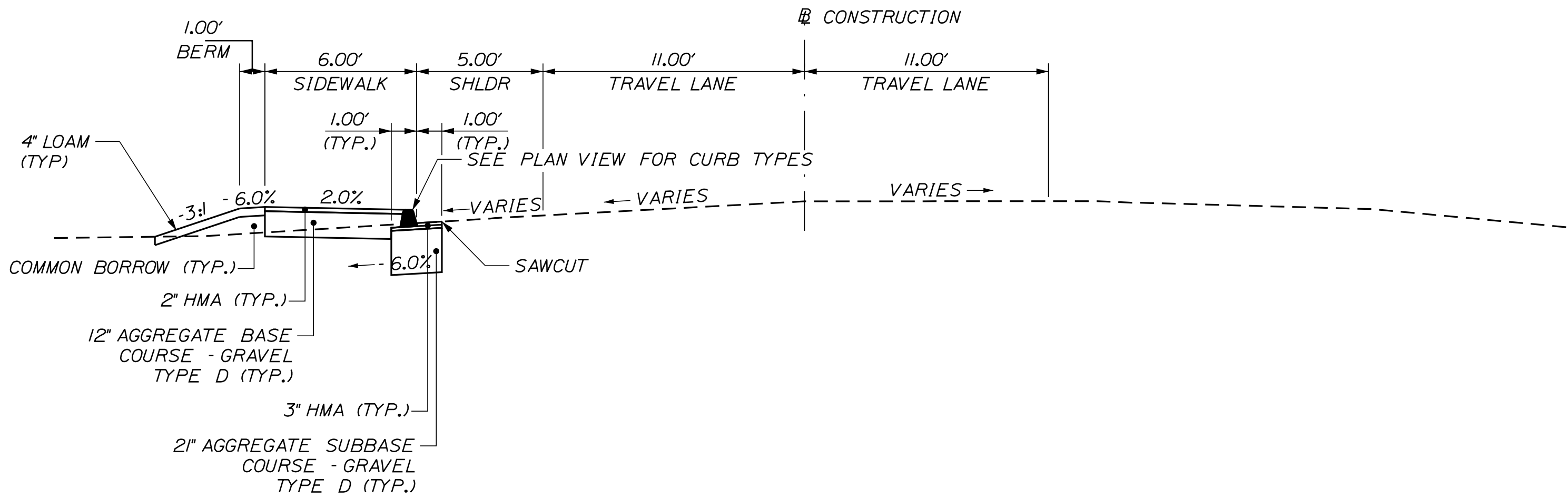
By: _____

Title: _____

Date: _____

INHABITANTS OF THE
TOWN OF FALMOUTH, MAINE

By: _____
Nathan A. Poore, Town Manager

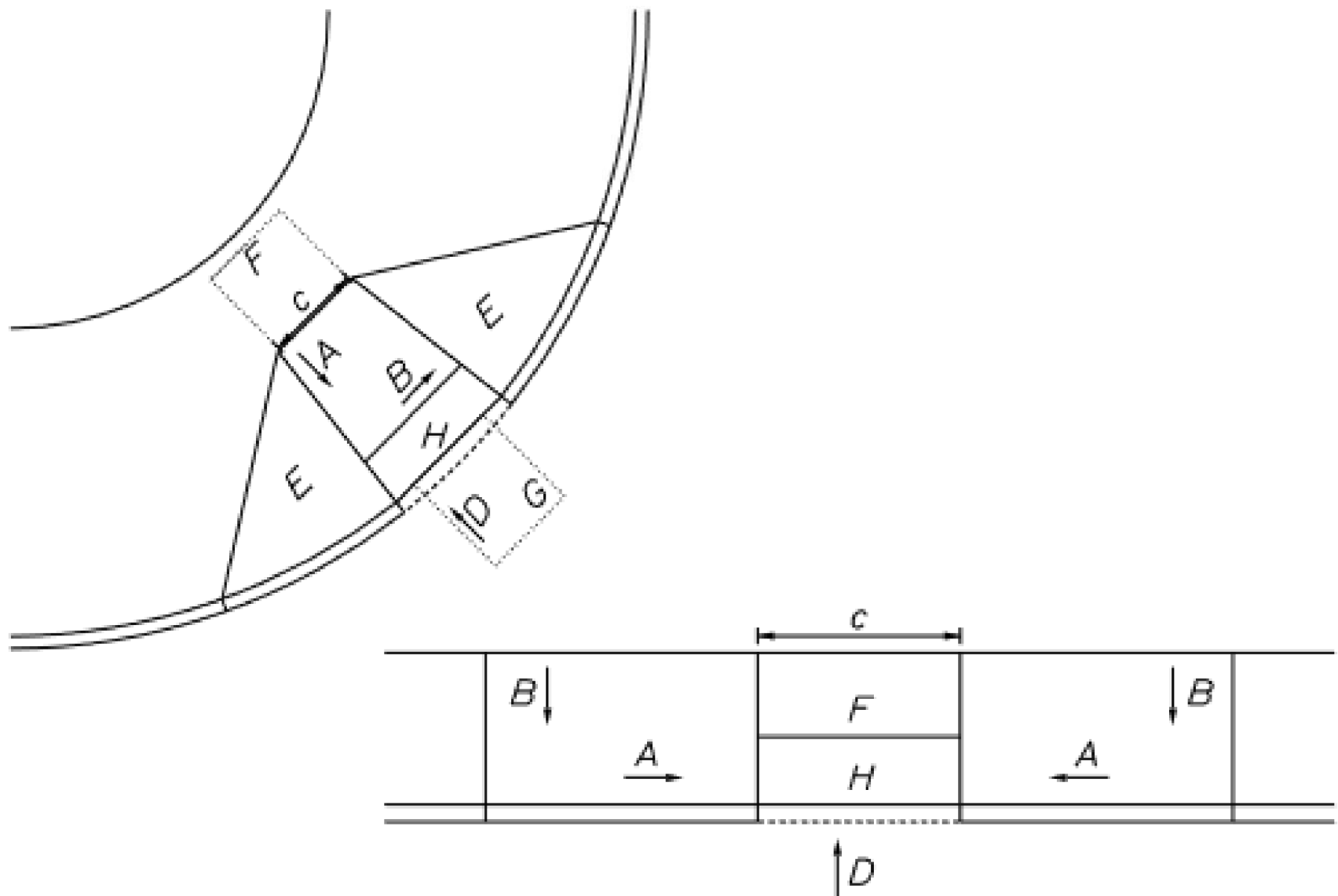


SIDEWALK CONSTRUCTION
 ROUTE 88

NOTES:

1. THE PAVEMENT, BASE, AND SUBBASE DEPTHS AS SHOWN ON THE PLANS ARE INTENDED TO BE NOMINAL.
2. THE GRAVEL QUANTITY CALCULATION IS BASED ON A 4 INCH LOAM DEPTH. THE ACTUAL DEPTH MAY VARY. SEE THE GENERAL NOTES.
3. THE ALGEBRAIC DIFFERENCE BETWEEN THE SHOULDER AND THE TRAVEL LANE CROSS SLOPES "ROLLOVER" SHALL NOT EXCEED 8 PERCENT.
4. FOR ADDITIONAL ADA PEDESTRIAN RAMP INFO VISIT:
WWW.MAINE.GOV/MDOT/CIVILRIGHTS/ADA/RESOURCES-ENGINEERS/

CURB RAMP REQUIREMENTS		
Running Slope	A	Max. 8.33% (1:12)
Cross Slope	B	Max. 2% (1:50) <i>Ramp cross slope at street crossings without stop or signal control may match roadway profile.</i>
Clear Width	C	Min. 5 feet <i>For existing ramps only, ramp width may remain 4 feet.</i>
Counter Slope	D	Max. 5% (1:20) <i>Adjacent surface must be flush with the ramp.</i>
Flared Sides	E	Max. 10% (1:10)
Turning Space	F	4 feet by 4 feet <i>Maximum slope of 2% in any direction. May include Detectable Warnings</i>
Clear Space	G	4 feet by 4 feet <i>Located at the bottom of the ramp outside active travel lanes.</i>
Detectable Warnings	H	<i>Required at traffic controlled intersections and mid-block crossings, full ramp width.</i>



PEDESTRIAN RAMP REQUIREMENTS
 Supplemental Standard Detail
 Supersedes 80(12)
 Jun. 9, 2021

TOWN OF FALMOUTH		SIGNATURE		P.E. NUMBER		DATE	
FALMOUTH		D. BURNHAM					
ROUTE 88 CROSSWALKS		DESIGN-DETAILED		DESIGN-DETAILED		DESIGN-DETAILED	
TYPICAL SECTIONS		REVISIONS 1		REVISIONS 2		REVISIONS 3	
SHEET NUMBER		REVISIONS 4		FIELD CHANGES			
2							
OF 5							

GENERAL NOTES:

1. PAVEMENT THICKNESSES SHOWN ON THE TYPICAL SECTIONS ARE INTENDED TO BE NOMINAL.

2. WHERE DEEMED NECESSARY BY THE RESIDENT, UNSUITABLE EXCESS MATERIAL SHALL BE REMOVED FROM THE EDGES OF SHOULDERS AND PLACED IN DESIGNATED AREAS OR DISPOSED OF. PAYMENT WILL BE MADE UNDER THE APPROPRIATE CONTRACT ITEMS.

3. ALL INSLOPE AND DITCHES IN CUT AREAS SHALL BE GRADED AS SHOWN ON THE TYPICALS OR FLATTER, OR AS DIRECTED BY THE RESIDENT.

4. THE CONTRACTOR SHALL PLAN AND CONDUCT WORK SO THAT UPON COMPLETION OF THE PROJECT THERE IS NO DROP-OFF FROM THE EDGE OF THE SHOULDER PAVEMENT.

5. ALL WASTE MATERIAL NOT USED ON THE PROJECT SHALL BE DISPOSED OF OFF THE PROJECT IN ACCEPTABLE WASTE AREAS REVIEWED BY THE RESIDENT. GRADING, SEEDING AND MULCHING OF WASTE AREAS SHALL BE CONSIDERED INCIDENTAL.

6. GRANULAR BORROW USED TO BACKFILL MUCK EXCAVATION OR IN LOW WET AREAS TO 1' ABOVE WATER LEVEL OR OLD GROUND SHALL MEET REQUIREMENTS FOR GRANULAR BORROW MATERIAL FOR UNDERWATER BACKFILL AS SPECIFIED IN STANDARD SPECIFICATION 703.19, GRANULAR BORROW.

7. A 3' PAVED LIP SHALL BE PLACED AT ALL UNPAVED ENTRANCES UNLESS OTHERWISE NOTED IN THE PLANS OR DIRECTED BY THE RESIDENT.

8. ALL PAVED WALKS SHALL BE CONSTRUCTED WITH 12 INCHES OF AGGREGATE SUBBASE COURSE GRAVEL AND 2 INCHES OF HOT MIX ASPHALT UNLESS OTHERWISE NOTED IN THE PLANS OR DIRECTED BY THE RESIDENT.

9. ANY NECESSARY CLEANING OF EXISTING PAVEMENT PRIOR TO PAVING (OR MILLING) SHALL BE INCIDENTAL TO THE RELATED PAVING (OR MILLING) ITEMS. THIS INCLUDES KILLING AND REMOVAL OF ALL VEGETATIVE MATTER.
10. NO EXISTING DRAINAGE SHALL BE ABANDONED, REMOVED OR PLUGGED WITHOUT PRIOR APPROVAL OF THE RESIDENT.

11. THE CULVERT SIZES SHOWN ON THE PLANS AND CROSS SECTIONS ARE FOR SMOOTHLINED PIPES. FOR COMPARABLE CORRUGATED SIZES SEE THE DRAINAGE TABULATION.

12. UNLESS OTHERWISE NOTED SEEDING METHOD NO. 1 SHALL BE UTILIZED ON ALL LAWN AND DEVELOPED AREAS; SEEDING METHOD NO. 2 SHALL BE UTILIZED ON ALL OTHER AREAS.

13. LOAM SHALL BE PLACED TO A NOMINAL DEPTH OF 4 INCHES IN LAWN AREAS AND 2 INCHES IN ALL OTHER AREAS UNLESS OTHERWISE NOTED OR DIRECTED.

14. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING MAILBOXES TO ENSURE THAT THE MAIL WILL BE DELIVERABLE. PAYMENT FOR THIS WORK WILL BE MADE UNDER THE APPROPRIATE RENTAL ITEMS.

15. ANY DAMAGE TO THE SLOPES CAUSED BY THE CONTRACTOR'S EQUIPMENT, PERSONNEL, OR OPERATION SHALL BE REPAIRED TO THE SATISFACTION OF THE RESIDENT. ALL WORK, EQUIPMENT, AND MATERIALS REQUIRED TO MAKE REPAIRS SHALL BE AT THE CONTRACTOR'S EXPENSE.

16. AREAS REQUIRING FILL ON THE PROJECT WILL COME FROM SUITABLE EXCAVATION FROM EXCAVATION, DITCH AND INSLOPE OR EQUIPMENT RENTAL AREAS.
17. NO SEPARATE PAYMENT FOR SUPERINTENDENT OR FOREMAN WILL BE MADE FOR THE SUPERVISION OF EQUIPMENT AND LAYOUT OF WORK BEING PAID FOR UNDER THE EQUIPMENT RENTAL ITEMS.

18. *UNDETERMINED LOCATIONS* SHALL BE DETERMINED BY THE RESIDENT.

19. FINAL STRIPING FOR THE PROJECT SHALL BE DONE BY THE CONTRACTOR PER THE STRIPING LAYOUT IN THE CONTRACT DOCUMENTS OR AS PROVIDED BY THE DEPARTMENT. PAYMENT SHALL BE MADE UNDER APPROPRIATE CONTRACT ITEMS.

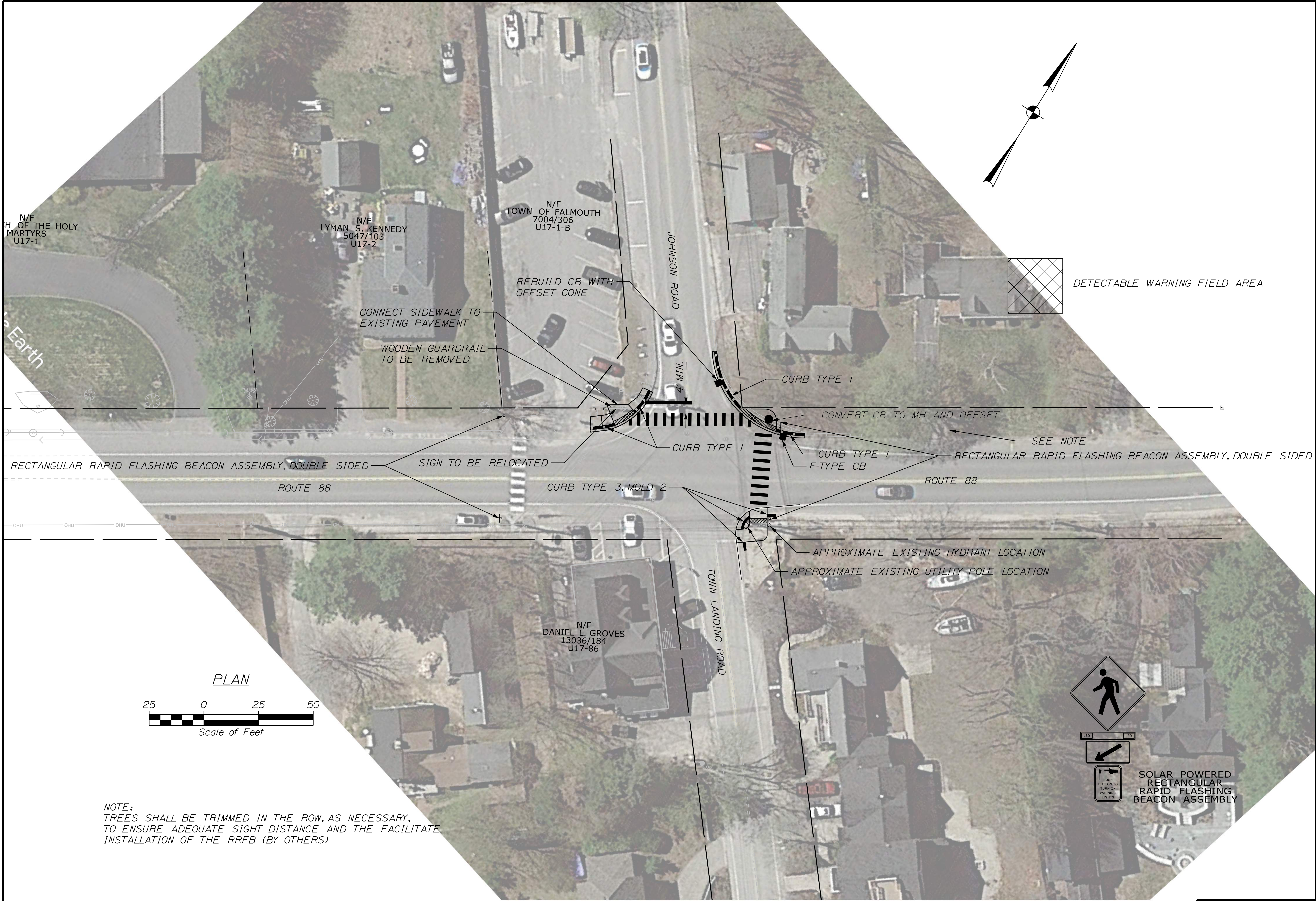
TOWN OF FALMOUTH				
FALMOUTH ROUTE 88 CROSSWALKS	PROJ. MANAGER		BY	DATE
	DESIGN-DETAILED	CHECKED-REVIEWED		
GENERAL NOTES	DESIGNS-DETAILED			SIGNATURE
	REVISIONS 1			P.E. NUMBER
	REVISIONS 2			DATE
	REVISIONS 3			
	REVISIONS 4			
FIELD CHANGES				
SHEET NUMBER				
3				
OF 5				

Date:4/6/2022

Username:

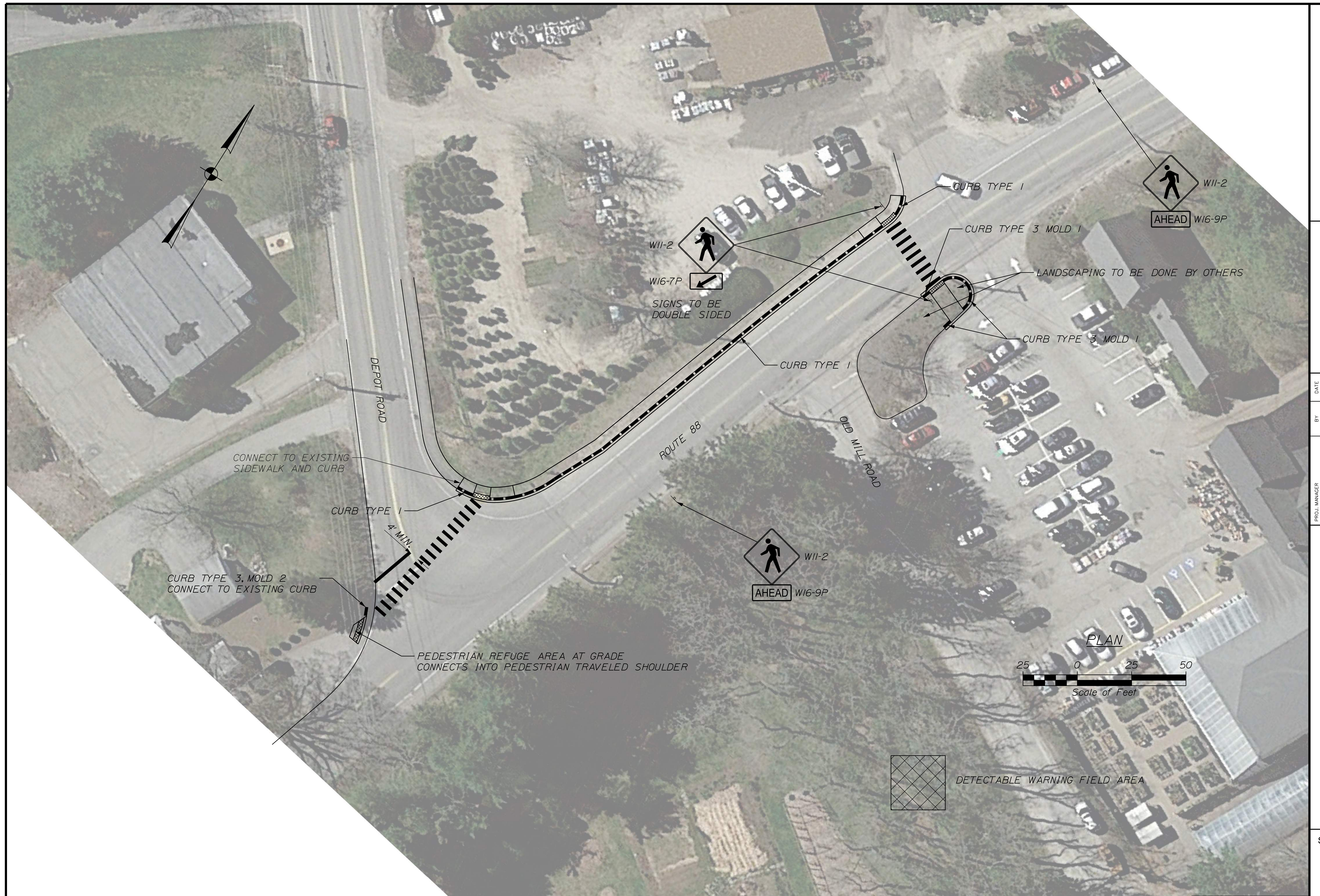
Division: HIGHWAY

Filename: ... \00\HIGHWAY\MSTA\04_HDPlan1.dgn



NOTE:
TREES SHALL BE TRIMMED IN THE ROW, AS NECESSARY,
TO ENSURE ADEQUATE SIGHT DISTANCE AND THE FACILITATE
INSTALLATION OF THE RRFB (BY OTHERS)

FALMOUTH ROUTE 88 CROSSWALKS		PROJ. MANAGER		BY	DATE	TOWN OF FALMOUTH
		DESIGN-DETAILED				
		CHECKED-REVIEWED			SIGNATURE	
		DESIGN2-DETAILED2				
		DESIGN3-DETAILED3				
		REVISIONS 1			P.E. NUMBER	
		REVISIONS 2				
		REVISIONS 3				
		REVISIONS 4			DATE	
		FIELD CHANGES				
SHEET NUMBER						
4						
OF 5						





Install ADA compliant crosswalk and Rectangular Rapid Flashing Beacon (RRFB)

Install ADA compliant crosswalk

Falmouth Library

DEPOT RD

HAT TRICK DR

Lunt and Depot Road Crosswalks

